



***Important Information
on how to connect to
Coliban Water's pressure
sewer network***

June 2023

1. Background

A Pressure Sewer System comprise a fully sealed pipe network fed by pumping units located at each connected property. Pressure sewer systems are an alternative when a traditional gravity sewer connection is not feasible for a particular lot or development area.

Coliban Water has specific Pressure Sewer New Customer Contribution (NCC's) for each lot to be connected by pressure sewer.

Please refer to our [Schedule of Fees & Charges](#) for specific pressure sewer NCC's.

This NCC provides developer funding held by Coliban Water for the supply, installation and ongoing maintenance requirements by Coliban Water for the property assets on each lot including tank, pump and control box. The supply and installation will be completed by Coliban Water's approved contractors after an application to connect is received.

Some lots serviced by pressure sewer have restrictions on title and other information confirming it is the property owner's responsibility for supply, installation and ongoing maintenance costs of the on-site pressure sewer assets. Coliban Water will confirm details related to your application during our consent to connect process.

2. Process of connecting to Coliban Water's pressure sewer network

There are 4 stages to the connection process to allow your property to connect to Coliban Water's pressure sewer network. Each stage has important items that need to be followed in order to ensure the connection process runs smoothly for your property.

Stage 1 Application to Connect (Prior to commencing your building works)

Applications are made using Coliban Water's online forms accessible from our website [Connect a property | Coliban Water](#). You can use the connect to drinking water form if applying for connection to both water and sewer or alternatively the connect to sewerage form may be used. During the online application you will be required to upload:

- A Site plan showing the proposed house/structures
- Floor plan of the proposed house/structures
- Landscaping plan if available
- Current Title
- Any other relevant documents to support your application

Stage 2 Design of your system (Prior to commencing building works)

After Coliban Water receives and processes your application to connect you will be referred to Coliban Water's delivery Partner for pressure sewer systems. Our contractor will review and make arrangements with you to design your onsite pressure sewer system. After we have designed your system and you have agreed to the locations of the pressure sewer equipment, we will then process your consent to connect number for booking drains with the Victorian Building Authority.

Stage 3 Get your Building Works Underway

You can now start with your building works and below ground sewer drainage works. Remember during this stage of your building works to follow the requirements of the plumber and electrician as nominated in the section "Need to Know Information for Builders, Electricians and Plumbers".

When your building reaches lock up stage with permanent power is connected, it's time to give our delivery Partner a call and schedule the installation of the pressure sewer system.

Stage 4 Installation and Commissioning of the sewerage system

Installation of the pressure sewer system and commissioning will be undertaken by our delivery partner making the system ready to receive sewerage from the house. After this stage is completed, the property is now fully connected to Coliban Water's pressure sewer network.

3. Important information for builders, electricians and plumbers

Builders Requirements for Pressure Sewer

As the site co-ordinator you will need to ensure the electrical and plumbing contractors have completed the requirements below along with overseeing the overall process of connecting the property to Coliban Water's Pressure sewer network.

- Builders must have permission to act on behalf of the customer and ensure the property owners details are supplied as part of an application to connect. Online applications are accessible via the Coliban Water website. [Connect a property | Coliban Water](#)
- The builder is required to work with Coliban Water's delivery Partner to organise the installation of the tank, pump system, control box, internal alarm and electrical connection.
- Builders are responsible for any damage to the pressure sewer system during construction works. Coliban Water's contractor will repair the asset at the builders' expense.
- The tank lid should be protected at all times. Heavy items are not allowed to be placed on or driven over this asset. Barrier protection is necessary during construction to ensure damage is avoided.
- Damage to the system must be reported to Coliban Water on 1300 360 200.
- Builder is responsible for the costs associated with the electrical and plumbing requirements stated below.

Electrical Requirements for Pressure Sewer

In order to prepare for Coliban Waters pressure sewer system to be installed, the builder's electrical contractor will be required to carry out the following works prior to booking in the installation of the system.

- Residential - Install a dedicated 240v 20amp circuit from the property switch board to the location nominated pump control panel on the pressure sewer drawing. (Please refer to drawing provided to Builder / Owner)
- Commercial - Install a dedicated 415v 25amp circuit from the property switch board to the location nominated pump control panel on the pressure sewer drawing. (Please refer to drawing provided to Builder / Owner)
- All cables should be clearly labelled at each end with "sewer pump"
- All works must be undertaken in accordance with AS3000
- 1 metre of additional cable should be left at each end of all circuits

NOTE: Final connection to power supply and pressure sewer system will be undertaken by Coliban Water. A separate certificate of electrical safety will be issued for this work.

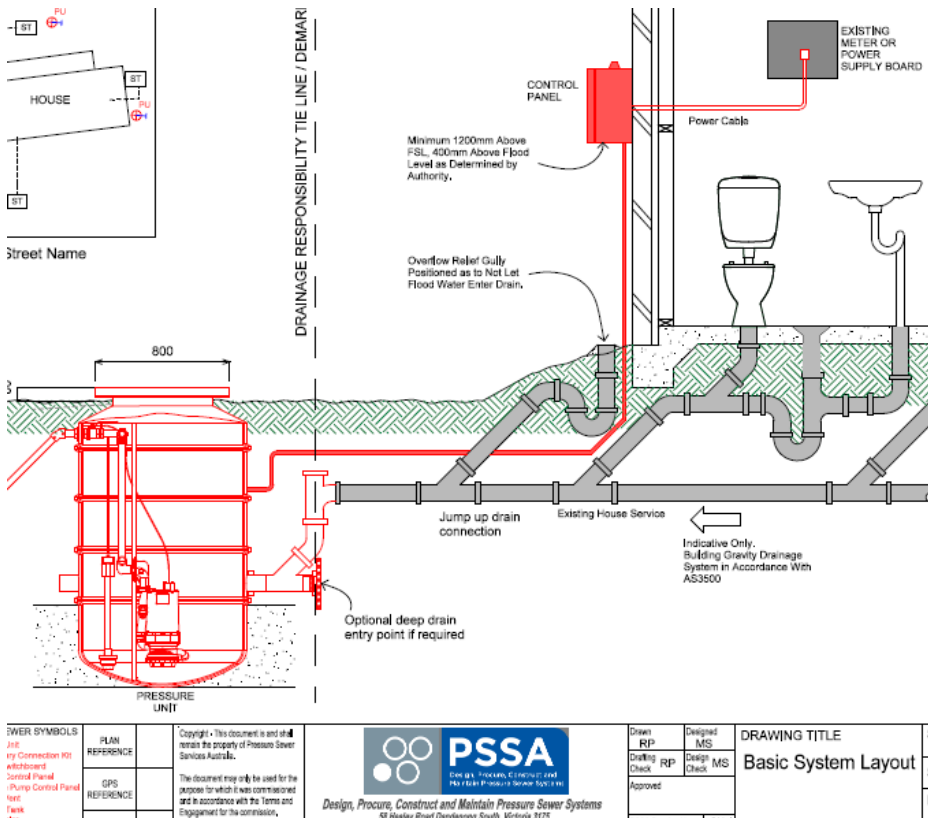
Plumbing Requirements for Pressure Sewer

In order to prepare for Coliban waters pressure sewer system to be installed, the builder's Plumbing contractor will be required to carry out the following works prior to booking in the installation of the system.

- Laid and installed the 100mm DWV below ground sewerage drain to the location marked pump unit (please refer to drawing provided to builder / Owner)
- Ensured the drain is free from foreign objects, dirt, gravel, timber
- Ensure the invert level of the drain is no deeper than 1.0m from the finish surface level.
- Ensured the property drain is protected by an overflow relief gully, the use of reflux valves on pressure sewer systems is not permitted.

- Ensure the drain laid to the pump station is terminated with a 27a and riser to surface marked sewer.
- All drainage works conform to AS3500
- VBA (Victorian Building Authority) drainage booking has been undertaken
- As Laid property drainage plan has been submitted to Coliban Water

*Final connection of the property drain onto Coliban Waters pressure Sewer system will be undertaken by Coliban Water so long as the drain has been laid to the dimensions shown for the pump unit on the property plan, if this has not been undertaken the plumber will be responsible for the final drain connection.



4. Terms and Conditions of Coliban Water's pressure sewer systems

1. Preliminary

1.1 In these conditions: you and your refer to the owner or an acting agent of the owner, of the property connected, or to be connected, to our pressure sewer system. We, us and our refer to Coliban Water.

1.2 Either our customer charter for residential customers or our customer charter for business customers is incorporated with these conditions. Any of your obligations set out in our pressure sewer system manual are also incorporated with these conditions. If there is any inconsistency with either of them, these conditions prevail.

2. Installation

We will install a boundary valve kit, along with the pumping unit and discharge line. In addition, we will install the control panel and the associated electrical cabling to the pumping unit. We will pay for the cost of these works.

You will be responsible for any costs associated with moving the pumping unit, boundary valve kit, discharge line and control panel should you wish to change their location after installation.

3. Power

We will arrange for the pumping unit to be connected to your property's power supply. We will pay the cost of this connection unless we deem your electrical systems to be unsafe. You must pay for bringing your

electrical systems to an appropriate standard where our works can occur. You must also pay for the power used by the pump.

Your electricity supply to the control panel comes from your main switchboard. If you, or someone else for whom we are not responsible, turns off the power supply to the pump units at the main switchboard, you may be liable for any costs associated with any callouts and repairs.

4. Property drain

You are responsible for the connection of your property drain to the capped inspection shaft (also referred to as the 45 degree junction giving both on grade or jump up connection for the plumber) provided by us on the inlet of the pump unit which is your legal connection to the sewerage system. Properties with a pressure sewer system must have an overflow relief gully. Reflux valves are not permitted on pressure sewer systems.

5. Maintenance

5.1 You will be responsible for any costs associated with maintaining property drains in good working order. Any work to be carried out on property drains must be carried out by a licensed plumber.

5.2 We will maintain the pumping unit, the control panel, electrical cables and all pipes on our side of the capped inspection opening. We will arrange for and pay for such work.

5.3 You must notify us promptly on our Emergency and Faults telephone line (1300 363 200) when you discover anything wrong with the pumping unit (including any power failure), the control panel, electrical cables, or the pipes on our side of the pumping unit.

5.4 Some pumping units include 'smart' digital technology that relays pump and tank information through telecommunications networks to our secure data centre.

6. Damage & Asset Protection

6.1 If you, or someone else for whom we are not responsible, damages the pumping unit, the control panel, electrical cables, or pipes on our side of the pumping unit, we will arrange for repairs to be made. You must pay us the cost of any such repairs.

6.2 You are responsible for any damage to the pressure sewer system during construction works. Coliban Water's contractor will repair the asset at the builders' expense.

In accordance with Section 148 of the Water Act you must not, without our consent, cause or permit any structure to be built, or any filling to be placed:

- a. Within 1 metre laterally of any of our works; or
- b. On land over which an easement exists:
 - I. In favour of Coliban Region Water Corporation; or
 - II. For water supply or sewerage purposes.

You are required by law to remove any such structure or filling if we ask you to, within such time as we determine. If you do not remove the structure or filling within the time we have determined, we have legal power:

- a. To enter your land and remove the structure or filling; and
- b. To recover the reasonable costs we incur from you.

Where driveways / paving are constructed over easements for water supply / sewerage purposes, or within 1 metre horizontally of a Coliban Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset/s affected.

7. Pools and spas

7.1 Coliban Water's preference for your spa and/or pool is to have cartridge filtration as this eliminates the need to backwash.

7.2 If you have a pool or spa which discharges water at more than 0.25 litres per second or 15 litres per minute when it is emptied or the filter is backwashed (this should be specified in your pool or spa user manual), you must limit the flow to the pressure sewer pump unit by installing an intermediate holding tank with a flow limiting outlet valve and physical air gap. The installation must be done by a licensed plumber in

consultation with Coliban Water. Please contact Coliban Water for further detailed assistances on how to connect the spa and/or pool waste to pressure sewer systems.

7.3 You must meet the cost of purchasing, installing and maintaining the holding tank or flow limiting valve including any work (installation or maintenance) performed by a licensed plumber or pool technician.

7.4 Discharging large volumes of backwash water to the pressure sewer system will sound a high-level alarm from your pressure sewer control panel, indicating there is limited capacity inside the pressure sewer pump unit.

7.5 Overflow relief gullies and backwash connection points to your sewerage drain must not be located in a position that allows the sewerage drainage point over overflow relief gully to spill across the surface to the spa or pool.

8. Restricting water use

Whenever you discover anything wrong with the pumping unit (including any power failure) or your property drain, you must restrict as much as possible the amount of water that is sent down your property drains.

This will reduce the amount of wastewater generated from your property while the fault persists thereby helping avoid an overflow at the storage tank.

9. Pressure sewer system manual

9.1 You must ensure that a copy of the pressure sewer system manual is kept at the property at all times, even if the property is leased or rented.

9.2 You can obtain further copies of this guide from our website at www.coliban.com.au

9.3 The manual forms part of the terms and conditions of connection

10. Decommissioning old septic systems

When our pressure sewer system is installed, you must arrange for a licensed plumber to decommission your existing wastewater system, in accordance with EPA requirements for such work. You must pay for this work.

11. Selling your property

When we provide any information statements about your property (for example, to a potential purchaser) it will state that the property is in a pressure sewer area and that special conditions of connection apply to it.

12. Costs and charges

12.1 If you are not in a Sewerage Area, you must pay the full costs associated with supply and installation of the pumping unit as well as any required network extensions or augmentations.

12.2 You will be responsible for the sewerage service and usage charges which apply to all residential or business properties.