

Conditions of connection

Pressure sewer system – terms and conditions

April 2021

In these conditions, connecting works means;

- All parts of the sanitary drains between any fixtures or appliances on your property sewer connection branch and:
- The collection pit and grinder pump; and
- The pressure drain between the grinder pump and our sewer connection branch; and
- The electricity control panel for the grinder pump; and
- The electrical wiring between the main electrical switchboard on the property and the grinder pump in the collection pit; and
- The drains and fittings which we use or intend to convey sewerage from the inlet to the isolation valve in the boundary kit, to our sewer collection main.

1. Plumbing works

All plumbing work must comply with AS/NZS 3500 Plumbing Code of Australia – current version. The Victorian Building Authority (VBA) is the regulating authority for plumbing. All enquiries relating to Plumbing Standards should be directed to the VBA on telephone 1300 815 127.

The connecting works must be installed so that they comply, in all respects, with the:

- a. Plumbing Regulations 1998 (Vic);
- b. Water (Estimation, Supply and Sewerage) Regulations 2014
- c. Building Act 1993 (Vic);
- d. Relevant AS/NZS series of standards applicable to sewer connection branch and connecting works from time to time;
- e. WSAA Pressure Sewerage Code of Australia WSA 07-2007; and any other technical requirements specified by Coliban Water.

2. Installation of pump and electrical

- a) The pressure sewer tank system is required to be located in the front yard of the property. The lid must remain uncovered. No landscaping works are allowed over the tank.
 - i. Cars, ride on mowers & other heavy items are not to be placed over the tank.
- b) The control box location must be at the front of the house and remain accessible to Coliban Water at all times.
- c) The builders' electrician must provide a circuit breaker within the household electrical switchboard.
- d) The electrician must also install a power cable to an isolation switch next to the proposed control panel location. Cable must also be installed from the proposed control box location to the internal wall mount alarm switch. Our contractor will confirm appropriate cable type. This alarm location should be confirmed with the customer however it is typical to locate these in the laundry.

- e) Coliban Water's contractor will make contact to obtain site plans and electrical diagrams to confirm electrical requirements have been satisfied. They will provide contact details and confirm installation date and time as well as commissioning of the system.
- f) Coliban Water's approved contractor will liaise with your electrical contractor/builder. Our contractor will install the control panel and the associated electrical cabling to the pump and the isolation switch. We will pay for the cost of these works.

3. Property service plan

- a. The owner must submit a property service plan including gravity property service drain and all fixture units

The licenced plumber connecting a serviced property to Coliban Water sewer assets must provide a sanitary drainage plan showing the sanitary works as they appear after they have been installed or altered.

It must show the location of all internal drains, pump unit, control panel, discharge line and property boundary kit at the completion of the works. This is to include provision of tie distances, depths, off set distances, structure outlines, property boundaries, etc., to enable location of all pipework and fixtures in the future.

4. Costs and charges

- a. The owner is responsible for paying for the power consumption of the PSS.
- b. The property owner must gain approval from Coliban Water to relocate any components of the pressure sewer system (PSS) on the property and then works can only be undertaken by Coliban Water's approved contractor at the property owner's cost.
- c. Where changes to site conditions including finished surface levels require the pump and tank unit and/or property service line maintained by the Coliban Water to be relocated or altered, all;
- d. alteration works are to be undertaken by the Coliban Water contractor at the owners cost. This includes any alterations to the power cable from the pump and tank unit to the main electrical switchboard for the house and pump control panel.

5. Asset protection

Builders are responsible for any damage to the pressure sewer system during construction works. Coliban Water's contractor will repair the asset at the builders' expense.

In accordance with Section 148 of the Water Act you must not, without our consent, cause or permit any structure to be built, or any filling to be placed:

- a) Within 1 metre laterally of any of our works (refer Figure 1); or
- b) On land over which an easement exists:
 - I. In favour of Coliban Region Water Corporation; or
 - II. For water supply or sewerage purposes.

You are required by law to remove any such structure or filling if we ask you to, within such time as we determine.

If you do not remove the structure or filling within the time we have determined, we have legal power:

- a) To enter your land and remove the structure or filling; and
- b) To recover the reasonable costs we incur from you.

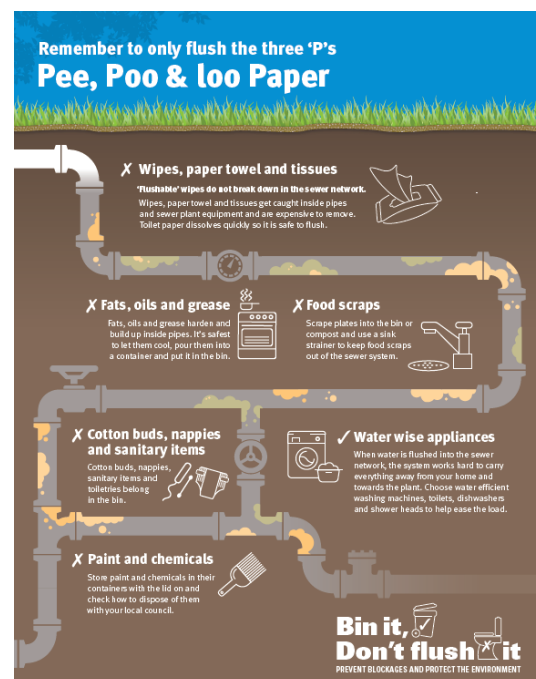
Where driveways / paving are constructed over easements for water supply / sewerage purposes, or within 1 metre horizontally of a Coliban Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset/s affected.

6. Damage to our assets

- If you, or someone else for whom we are not responsible for (e.g. visitors), damages the boundary valve kit, pump unit, control panel, electrical cabling or connecting pipe work, we will arrange for the repairs to be made. You will be required to reimburse Coliban Water for the cost of these repairs.
- If Coliban Water, or someone for whom we are responsible, damages your land or anything on it while carrying out work referred to above, the legislation under which we operate requires us to either rectify the damage or compensate you for it, provided you have complied with the landscaping requirements as set out in the occupiers' manual.
- If the owner discovers damage to the PSS or the property drain, the owner must restrict, as much as possible, the amount of water that is discharged to the house property drain such as washing machines, keeping showers brief and not emptying the bath if it is full.
- The owner must only discharge appropriate waste into the PSS that will not damage the PSS, the pump unit or other Coliban Water infrastructure. The cost of any repairs caused by discharging inappropriate waste material through the PSS must be paid by the property owner.

e) The following items must not be flushed:

- Bones & food waste
- Clothes, rags or socks
- Chemicals other than bath, kitchen or shower cleaning products
- Flammable materials
- Glass
- Kitty litter
- Lubricating oil or grease
- Metal or metal filings
- Seafood shells
- Nappies
- Plastic objects
- Rainwater/stormwater
- Sanitary napkins or tampons
- Seafood shells
- Wet wipes



7. Maintenance

- a) The owner must maintain the property drain. Any maintenance on the property drain must be carried out by a licensed plumber at the owners cost.
- b) You will be required to maintain the electrical cabling between your power switchboard and the control panel to the pump unit. You must ensure that there is a continuous supply of electricity to the grinder pump.
- c) The owner must immediately notify Coliban Water of:
 - a. Damage to the PSS; and
 - b. Alarms or faults with the pump unit control panel, or electrical cables and pipes on Coliban Water side of the inspection opening.
- d) The owner is responsible for all damage to the PSS. Coliban Water will maintain the PSS, at our cost.
- e) We will keep any sewer connection branch in repair and good working order, at our cost.

8. Ownership and occupation

- a) For pressure sewer systems approved after 1 April 2021 where Coliban Water has required the property developer to fund the supply and installation of the on property pressure sewer system assets;
 - i. Coliban Water takes ownership of the pressure sewer pumping unit, control box, house service line connection to the boundary valve kit and connection of it to Coliban Water's reticulated system.
- b) The property owner will own the property drain connecting the house to the pressure sewer pumping unit.
- c) The owner must notify any occupier of the property to the existence of the PSS, and these terms and conditions, while remaining liable for all aspects of these terms and conditions.

9. Pools and spas

Customers who install a pool will not be permitted to drain their pool to their pressure sewer unit, and will be required to comply with local authority requirements. In cases where this is not possible, the customer will be required to install a system such that discharge from the pool does not exceed the capacity of the pressure sewer pump well.

Customers with a spa are to install a flow restrictor to the drain that limits the discharge rate to not more than 0.5L/s. This flow restrictor shall be installed by a licensed plumber.

Refer to section 4.4.3 Coliban Water Supplement to WSA 07-2007-1.1

Such installation must be carried out to the satisfaction of Coliban Water by a licensed plumber.

10. System Operation

The property owner must ensure that a copy of the occupiers manual is kept at the property at all times, even if the property is leased or rented.

11. Selling the owner's property

The owner must bring to the attention of any prospective purchaser of the property, these terms and conditions and the guidelines.

12. Non-compliance with terms and conditions

- a) Any breach any of these terms and conditions by the owner, any occupant or visitor to the property, without limiting the remedies available to Coliban Water, will allow Coliban Water to do any or all of the following:
- i. require the owner to take specified actions to remedy the breach;
 - ii. refuse to accept discharges from the PSS into Coliban Water's reticulated sewer system until the breach is remedied;
 - iii. exercise powers available under the Water Act; and
 - iv. revoke consent for the connection and disconnect the PSS.

13. Coliban Water asset plans


If we supply you with any plan with these conditions, or for the purpose of a connection being made to Coliban Water assets:

- a) We do not provide any warranty, express or implied, as to the accuracy, completeness, currency or reliability of plans provided. Furthermore, Coliban Water does not provide a warranty that the scale of the plans is accurate, or that they are suitable for a specific purpose.
- b) These plans are intended for general information only. Coliban Water is not responsible and does not accept liability for any loss, expense or damage (direct or indirect) which has arisen from reliance on any plans provided by Coliban Water.
- c) You (or your plumber on your behalf) must:
- i. Make independent inquiries about the location of each asset and about each relevant dimension on the plan: and
 - ii. Prove the location of every asset on the land by hand before starting plumbing works.
 - iii. It is the responsibility of users of the plans to ensure the accuracy of the plans by independent means and to take care when undertaking works that have the potential to damage Coliban Water assets.

14. Schematic

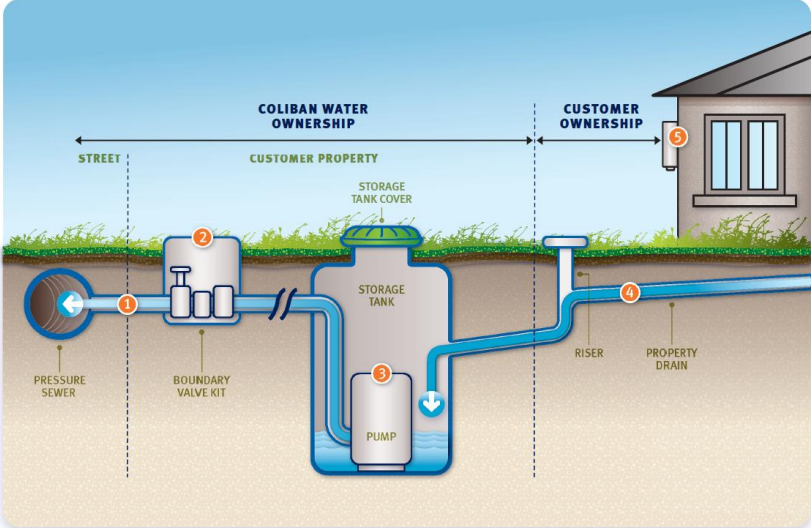
PRESSURE SEWER SYSTEM COMPONENTS

SCHEMATIC OVERVIEW



Pressure sewer systems are an economical and environmentally-friendly way of collecting, transporting and disposing of wastewater from households. This diagram outlines the key components of a pressure sewer system:

- 1 House Service Line**
This is the line from the property that discharges to the pressure sewer system.
- 2 Boundary Valve Kit**
This is the access point for maintenance and ensures wastewater cannot re-enter the property.
- 3 Pumping Unit**
This is a below ground storage tank that manages waste from the property before it is pumped to the pressure sewer.
- 4 Property Drain**
This pipe connects the house to the storage tank.
- 5 Control Panel**
This electrical box controls the pumping unit.



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15. Definitions

Boundary Vale Kit	On property asset installed at the front property boundary to provide connection to Coliban Water reticulated sewerage. Includes isolation valve.
Control Panel	Electrical control unit for the Pressure Sewer Unit located close to the electrical switchboard to remain accessible to Coliban Water for unrestricted access.
Property Drain	The pipe connecting the house to the pressure sewer system storage tank and pumping unit
Property Service Plan	An as constructed drainage plan showing the location of all internal drains, pump unit, control panel, discharge line and property boundary kit is to be provided by the plumber at the completion of the works. This is to include provision of tie distances, depths, off set distances, structure outlines, property

	boundaries, etc., to enable location of all pipework and fixtures in the future.
PSS	Pressure Sewer System: This refers to the pressure sewer system as a whole, including the Pressure Sewer Unit, all related plumbing and electrical units including any SCADA remote monitoring.
Reticulated Infrastructure	Components of the PSS external to the property, including: Pressure sewer lateral, sewer pipeline (reticulation), tapping or connection point, air valve and scour assemblies & outfall connection to gravity sewer.

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